



840 Complex St SW – Lenoir NC, 28645

25.78 Acres



Availability

For Sale: Yes

For Lease: Yes

Zoning: Industrial

Price: \$27,060,000

Utilities

Capacity: 3 Phase Power

Electricity Provider: Duke Energy

Natural Gas Provider: Piedmont Natural Gas

Water Provider: City of Lenoir

Sewer Provider: City of Lenoir

Rail Access: No

NC Pin #: 2738877354

Transportation:

Commercial Airport: Charlotte-Douglas International

Regional Airport: Hickory Regional Airport

Nearest Interstate: (I-40)

Distance: 67.9 Miles (One Way)

Distance: 17.8 Miles (One Way)

Distance: 17 Miles (One Way)

Description:

This 492,000 sq. ft. is available for lease in Lenoir, NC. This complex is adjacent to the Lenoir southern Loop, approximately 17 miles north of I-40. This spot offers quick access to 321, office and warehouse space, and a ventilation system in the warehouse. Built in approximately 1970, renovations occurred in 2021-2022. Ceiling height 20', multiple dock doors with various sizes, 100+ standard parking spaces.

Contact Information:

Broker: Doug Faris

BINSWANGER

Phone: (704) 972-2040

840 COMPLEX STREET SW
LENOIR, NC

AVAILABLE FOR SALE AND LEASE
INDUSTRIAL PROPERTY

492,000 SF
25.78 Acres

PROPERTY SPECS

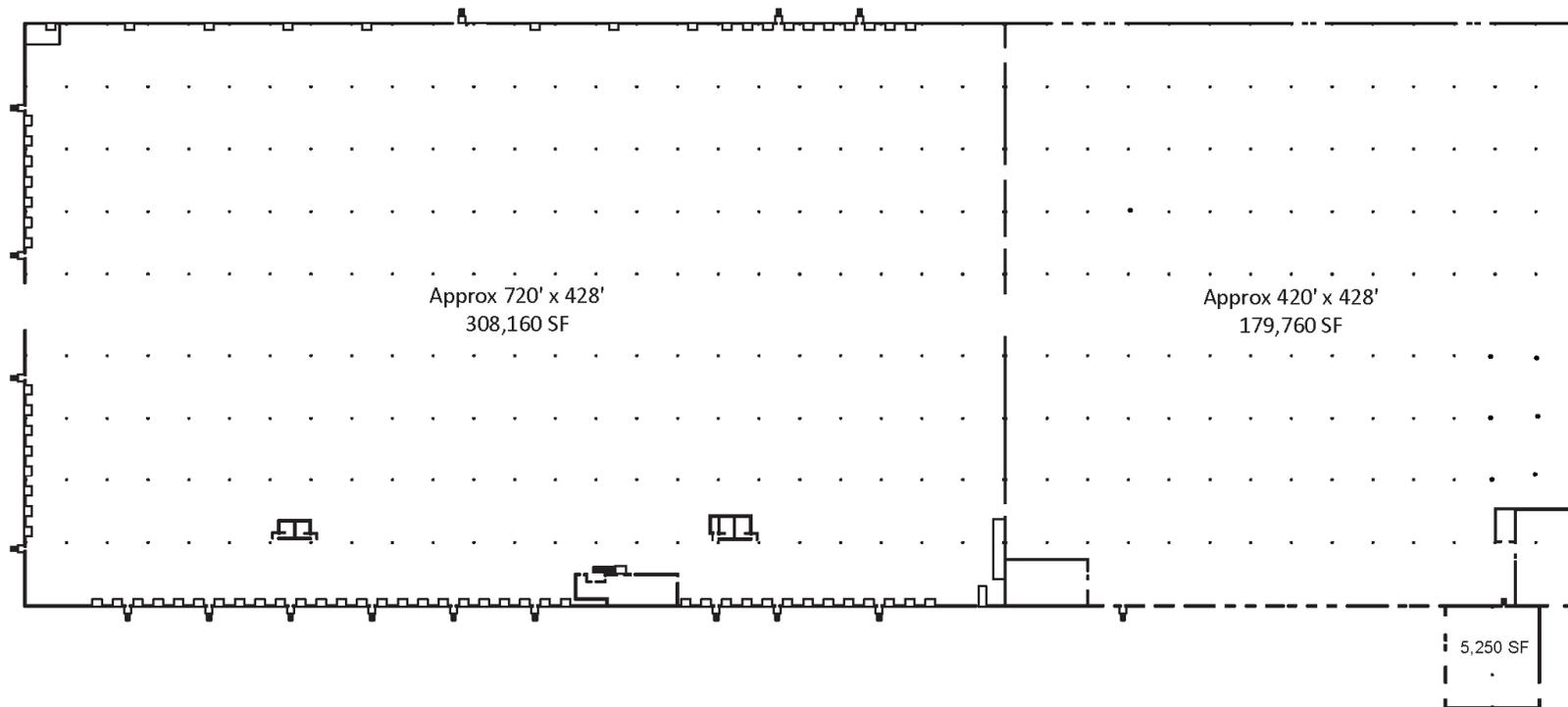
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| SIZE: | Approximately 492,000 sq.ft. | COLUMN SPACING: | Primarily 46' x 30' with one center bay that is 60' x 30' |
| GROUND: | Approximately 25.78 acres | CEILING HEIGHT: | Approximately 20' clear |
| NUMBER OF BUILDINGS: | One modern, single-story industrial facility | WATER: | Supplied by City of Lenoir 10" main; 2" line |
| DIMENSIONS: | Approximately 428' wide x 720' long in the area west of the interior fire wall Approximately 428' wide x 420' long in the area east of the fire wall | SEWER: | Supplied by City of Lenoir 10" main; 2" line |
| DATES OF CONSTRUCTION: | Approximately 1970 Substantially renovated 2021-2022 | GAS: | Supplied by Piedmont Gas 2" line |
| CONDITION OF PROPERTY: | Excellent | POWER: | Supplied by Duke Energy 1,600 AMPS 480 V 3 phase 4 wire switchgear Onsite substation with one large pad mounted transformer fed by a 44 kV line |
| CONSTRUCTION: | Floor: Reinforced concrete Walls: Brick on block Roof: Un-ballasted membrane – replaced in 2021- 2022 with new deck as needed Columns: Steel | LIGHTING: | T8 |
| | | HEAT: | Natural gas radiant units |
| | | AIR CONDITIONING: | Office areas heated and cooled by package units Warehouse ventilated by twelve roof mounted exhaust fans |

PROPERTY SPECS

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| SPRINKLER: | ESFR sprinkler installed in 2021-2022 |
| OFFICE: | Two story office and break room area in larger section |
| RESTROOMS: | Three separate bathroom units inside warehouse each with: Women: 2 Toilets, 2 Sinks Men: 2 Urinals, 2 Toilets, 2 Sinks |
| TRUCK LOADING: | Ninety 8' x 9' manual dock high doors with seals, hydraulic levelers and lights - all covered Eight 10' x 10' dock high doors with no levelers or seals - two are covered Four 12' x 16' manual overhead drive-in doors serve the maintenance area on the south side of the facility One 18' x 32' electric metal roll up drive-in door on the north wall |

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| PARKING: | Paved and marked for approx. 100+ vehicles |
| FORMER USE: | Warehousing / Distribution |
| ZONING: | I-2 Heavy Industrial |
| TAXES: | <u>Parcel #: 2738877354 and 2738866529</u> <u>2021 Assessed Value (next assessment 2025)</u> Building/Improvements: \$5,910,000 Land: \$ 494,500 Total: \$6,404,500 2024 Caldwell County tax rate: \$0.63/\$100 2024 Lenoir City tax rate: \$0.5785/\$100 |
| TRANSPORTATION: | Complex is adjacent to the Lenoir southern Loop, approx. 17 miles north of I-40 |
| MISCELLANEOUS: | Attached former truck maintenance area and repair shop in the southeast corner of the building served by a drive-in door Fire and Burglar alarm Card access systems |

FLOOR PLAN



EXTERIOR PHOTOS



INTERIOR PHOTOS



CONTACT



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